# Chapter 5. BUILDING TYPES AND ARCHITECTURAL STANDARDS

# 5.1 Purpose and Intent

Because of the established architectural vernacular of the City of Salisbury in a wide-variety of common building types, this Code has established regulations specific to these typologies. The rich, architectural vocabulary of the City presents a wide variety of development opportunities using traditional forms while avoiding any perception of monotony. Buildings that are stylized in an attempt to use the building itself as advertising shall be discouraged, particularly where the proposed architecture is the result of a "corporate" or "franchise" design. The standards in this Chapter are intended to attach the same or greater level of importance to the overall building design as is placed on the use contained within. Buildings are expected to be added to the City of Salisbury as long-term additions to the architectural vibrancy of the community.

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- 5.2 Applicability
- 5.3 Exceptions
- 5.4 General Building Design Requirements
- 5.5 Permitted Off-Street Parking Areas by Building Type
- 5.6 Civic Building
- 5.7 Institutional Building
- 5.8 House
- 5.9 Townhouse Building
- 5.10 Apartment Building
- 5.11 Mixed-Use Building
- 5.12 Commercial Building

# 5.2 Applicability

The following provisions shall apply throughout the jurisdiction of this Code, regardless of the underlying zoning district provisions.

### 5.3 Exceptions

- **A.** While it is expected that some new building types will be introduced to the City, these variations should be based upon the predominant types listed in this Chapter. Innovative planning or design ideas for development in any district where the proposed building types are different than those allowed by the base district requirements may be approved subject to the issuance of a Special Use Permit.
- **B.** Required building materials may be substituted with materials, such as synthetic materials that are similar in appearance and are equal to or exceed the durability of the original material.

## 5.4 General Building Design Requirements

Unless otherwise noted, all buildings shall meet the following:

- A. Architectural Style: The building design standards of this Chapter intentionally do mandate a particular style and permit a wide variety of architectural expressions. However, when a design exhibits a known architectural style (i.e Colonial, Victorian, Classical Revival) the details shall be consistent with that style unless the local architectural vernacular of Salisbury provides an alternate precedent for a detail.
- **B.** Frontage: All buildings shall share a frontage line with a street or square. (Exception: Buildings that are interior to a site that has buildings that otherwise meet the frontage requirement)
- **C.** Termination of Vistas: Important street vistas (such as along City gateways and primary pedestrian streets) should terminate in a focal point, such as a building or other architectural or natural feature.
- **D. Compatibility:** Adjacent buildings should relate in similarity of scale, height, architectural style, and/or configuration.
- **E. Proportions:** Windows, doors, columns, eaves, parapets, and other building components shall be proportional to the overall scale of the building. Windows shall be vertically proportioned wherever possible.
- **F.** Wall Materials: When two or more materials are used on a façade, the heavier material (i.e. brick) should be placed below the lighter material (i.e. siding) to give the sense of support and grounding.
- **G. Underground wiring:** To reduce the visual impact of overhead wiring, utility services shall be located underground.
- H. Type of Construction: Manufactured, mobile, and metal units shall be prohibited, except as may be allowed in Section xx for a temporary office or classrooms, site management, or storage uses during construction projects.
- I. Roof Pitch: Roof pitches less than 3/12 and flat roofs will require a parapet wall. A pitched roof shall be profiled by eaves a minimum of 6 inches from the building face or with a gutter.



Façade elements such as doors and windows should be proportional (5.4.G)



Provide an entrance from the fronting street (5.4.C)



Storefronts should provide windows and doors along their street frontage



Visually reduce large expanses of wall with windows and/or doors.

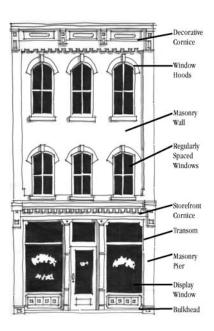


Provide eaves with pitched roofs

**J. Public Art:** Public art, such as statues, fountains, and other works of art are encouraged and may be placed in any required front setback area.

## K. Façade Treatment

- 1. Architectural elements like windows and doors, bulkheads, masonry piers, transoms, cornice lines, window hoods, awnings, canopies, and other similar details shall be used on all facades facing public rights-of-way.
- 2. Building wall offsets, including projections, recesses, and changes in floor level shall be used in order to: add architectural interest and variety; relieve the visual effect of a single, long wall; and subdivide the wall into human size proportions. Similarly, roofline offsets should be provided to lend architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof.
- 3. The ground level of the building must offer pedestrian interest along sidewalks and paths. This includes windows, entrances, and architectural details. Incidental signage on buildings (in accordance with Chapter 14), awnings, and ornamentation are encouraged.



# 5.5 Permitted Off-Street Parking Areas by Building Type

		Civic	Institutional	House - Street	House - Alley	Townhouse	Apartment	Mixed-Use	Commercial	All Other Bldgs
T1	OSP	IV	IV	IV	_	_	_	_	_	_
T2	RR	IV	IV	IV	_	_	_	_	_	_
T3	GR	III	III	III	II	II	_	_	-	_
	UR	II	II	III	II	II	II	II	_	_
	RMX	II	II	III	II	II	II	II	-	_
T5	NMX	II	II	III	II	II	II	II	II	_
	CMX	II	II	III	II	II	II	II	II	_
<b>T6</b>	DMX	I	I	-	-	I	I	I	I	_
	HB	IV								
	LI	IV	IV	ı	ı	-	ı	ı	IV	IV
	HI	IV	IV	-	-	-	-	-	IV	IV
	HS	II	II	III	II	II	II	II	II	_
	IC	II	II	III	II	II	II	II	_	_
	MHD	IV	IV	IV	_	_	_	_	_	_
	TND	II	II	III	II	II	II	II	II	_

I Rear Yard Only

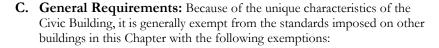
II Side and Rear Yards Only

III Front Yard Limited (One Bay Only Permitted)

IV Unrestricted

# 5.6 Building Type: CIVIC

- **A. Description:** The Civic Building is the most important building type in the City. It serves equally as a landmark and a public gathering place. Such buildings should be constructed as permanent additions to the long-term vibrancy of the City and should serve to exemplify the very best architectural designs and building practices.
- **B. Applicability:** The Civic Building type includes public buildings such as city halls and libraries, semi-public buildings such as museums and observatories, and private buildings such as churches and synagogues.



- They should be built so that they terminate a street vista whenever possible.
- They should be of sufficient design to create visual anchors for the community.



City Hall



Church (Note the termination of the street vista)

# 5.7 Building Type: INSTITUTIONAL

- A. Description: Institutional Buildings often serve as landmarks and public gathering places. However, because most Institutional Uses serve specialized populations (i.e children, elderly, college students, or the infirmed) they have unique characteristics that require design control. Like Civic Buildings, such buildings should be constructed as permanent additions to the long-term vibrancy of the City and should serve to exemplify the very best architectural designs and building practices.
- **B.** Applicability: Uses appropriate for the Institutional building type include governmental offices, schools, hospitals and long-term care facilities, post offices, and non-profit or charitable clubs and organizations.

## C. General Requirements:

- They should be of sufficient design to create visual anchors for the community.
- 2. Building(s) incidental to the principal structure shall be behind a line a minimum of 20 ft behind the front facade of the structure, and if more than one, shall be arranged to create secondary gathering spaces within the lot.
- 3. Building Walls: Civic building walls shall be clad in clapboard, stone, stucco, cementitious fiber board, brick, or marble. Decorative concrete masonry units (CMU), exterior insulation finishing systems (EIFS) and/or vinyl siding may be used as a secondary element, or on facades not facing public streets.
- 4. Roofs: Flat roofs are allowed, but principal buildings adjacent to residential structures are encouraged to have pitched roofs or similar architectural features to ensure compatibility.



College Campus

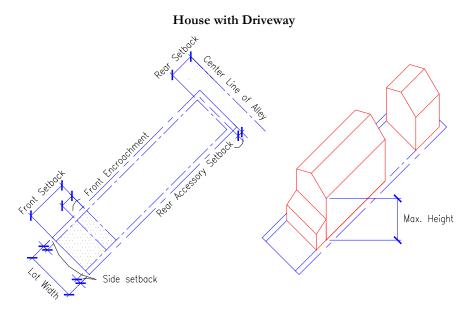


Schoo

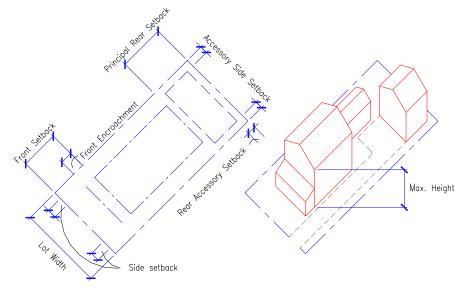
Hospital

# 5.8 Building Type: HOUSE

- **A. Description:** The House is the predominant building type in the City of Salisbury. It is flexible in use (where permitted), accommodating single family uses, multi-family uses up to four units, home occupations, professional offices, and limited retail uses based on the District in which it is located. The two types of Houses are a function of how the lot is accessed with an automobile, hence the different standards for lots accessed by a driveway from a fronting street or lots accessed by a rear lane or alley. In general, within a block, building types should be uniform in their use of driveways or rear lanes/alleys.
- **B. Yards:** The House has four yards (Front/Sides/Rear) though variations include setting the building on one of the side property lines to create a larger side yard on the opposite side (i.e. Charleston Single)



# House with Rear Lane/Alley



#### C. General Requirements

- 1. Useable porches and stoops should be used as a primary architectural element of the building design and be located on the front and/or side of the home. Useable front porches are at least 8 feet deep and extend more than 50% of the facade.
- 2. Garages with front loading bays (if permitted) shall be recessed from the front facade of the house and visually designed to form a secondary building volume. All garages with more than two bays shall be turned such that the bays are not visible from the street. At no time shall the width of an attached garage exceed 40% of the total building facade.
- **3.** Garage doors are not permitted on the front elevation of any detached house on a lot less than 60 feet wide.
- **4.** To provide privacy, all front entrances shall be raised from the finished grade (at the frontage line) a minimum of 1½ feet. (Exception: Single Family Homes on lots greater than 60 feet wide)

#### D. Materials

- Residential building walls shall be primarily clad in wood clapboard, cemetitious fiber board, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, vinyl, or synthetic materials similar and/or superior in appearance and durability.
- Residential roofs shall be clad in wood shingles, standing seam metal, terne, slate, dimensional asphalt shingles or synthetic materials similar and/or superior in appearance and durability.

#### E. Other Requirements

- 1. Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 6:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less then 4:12.
- 2. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- 3. The undercroft of buildings shall be enclosed.
- 4. Overhanging eaves may expose rafters.
- 5. Flush eaves shall be finished by profiled molding or gutters.



Single-Family Home with Alley



Single-Family Homes with Driveway



Duples



Triples



Ouadruplex



Professional Offices

#### E. Additional Requirements for Manufactured Housing

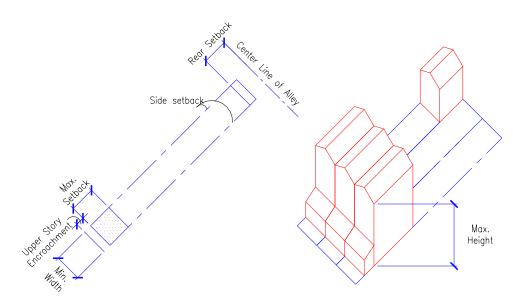
In addition to the above criteria, a manufactured home must bear a seal certifying that it was built to the standards adopted on July 1, 1976 that meets or exceeds the construction standards promulgated by the US. Department of Housing and Urban Development that were in effect at the time of construction and that satisfies each of the following additional criteria:

- The roof shall be finished with a type of shingle that is commonly used in standard residential construction.
- 2. A continuous, permanent brick foundation or curtain wall, unpierced except for required ventilation and access, shall be installed upon a poured concrete footer after placement on the lot, and before occupancy.
- 3. Stairs, porches, entrance platforms and other means of entrance and exit to the manufactured home shall be installed and constructed in accordance with the standards set by the NC Department of Insurance.
- 4. Main roofs on manufactured homes shall be symmetrical gables or hips with a pitch between 6:12 and 12:12.
- The roof of the manufactured home shall have an eave extending at least ten (10) inches from each vertical exterior wall. A site installed gutter may be counted in the width of the eave.
- **6.** The front facade of the building shall extend parallel to the frontage line.
- 7. The manufactured home is set up on the site in accordance with the standards set by the NC Department of Insurance.
- **8.** The tongue, axes, transporting lights, and removable towing apparatus are removed after placement on the lot and before occupancy.
- **9.** Windows shall be set to the inside wall face.

## 5.9 Building Type: TOWNHOUSE

- **A. Description:** The townhouse is a building with two or more residential units that are located side-by-side. When an entrance is provided at-grade, the townhouse may be used as a live-work unit. The use permitted within the building is determined by the District in which it is located. In general
- **B.** Yards: The Townhouse typically has 1 yard (Rear) though variations include a small front setback to provide some landscaping.

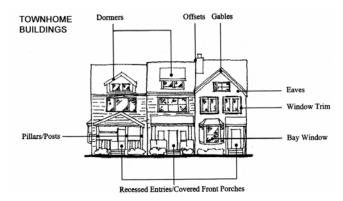




- 1. **Bulk and Scale:** The bulk and scale of townhouse infill development shall be similar to and consistent with the surrounding neighborhood as evaluated by the bulk of buildings adjacent, abutting and surrounding the proposed development. All buildings should be designed to adhere to the existing architectural pattern of the surrounding neighborhood.
- 2. Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the building. Useable front porches are at least 8 feet deep and extend more than 30% of the facade.
- 3. Garage doors are not permitted on the front elevation of any townhouse.
- 4. All building elevations visible from the street shall provide doors, porches, balconies, and/or windows. A minimum of 60% of front elevations, and a minimum of 30% of side and rear building elevations, as applicable, shall meet this standard. "Percent of elevation" is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. This standard applies to each full and partial building story.
- 5. To provide privacy, all front entrances shall be raised from the finished grade (at the building line) a minimum of  $1\frac{1}{2}$  feet.
- 6. All townhouse buildings shall provide detailed design along all elevations. Detailed design shall be provided by using many of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):

## CHAPTER 5: BUILDING TYPES AND ARCHITECTURAL STANDARDS

- a. Dormers
- b. Gables
- c. Recessed entries
- d. Covered porch entries
- e. Cupolas or towers
- f. Pillars or posts
- g. Eaves (minimum 10 inch projection which may include gutter)
- h. Off-sets in building face or roof (minimum 16 inches) Window trim (minimum 4 inches wide)
- i. Bay windows
- j. Balconies
- k. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)
- 1. Decorative cornices and roof lines (for flat roofs)



#### D. Materials

- 1. Residential building walls shall be wood clapboard, cemetitious fiber board, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, or vinyl.
- 2. Residential roofs shall be clad in wood shingles, standing seam metal, terne, slate, or asphalt shingles.

### E. Other Requirements

- 1. Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 6:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less then 4:12.
- 2. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- 3. The undercroft of buildings shall be enclosed.
- 4. All buildings should be designed to adhere to the existing architectural pattern of the surrounding neighborhood.
- 5. Overhanging eaves may expose rafters.
- 6. Flush eaves shall be finished by profiled molding or gutters.
- 7. All rooftop equipment shall be screened from view.



Multi-Family Townhomes with Alley



Multi-Family Townhomes with Alley



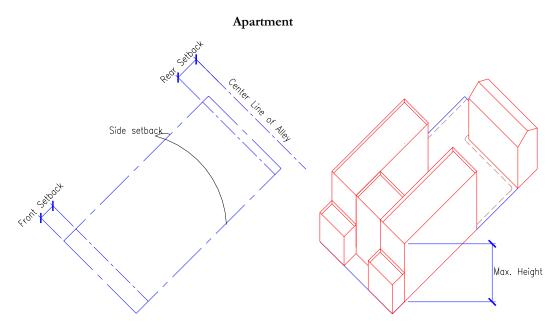
Multi-Family Townhomes with Driveways



Live-Work Units

# 5.10 Building Type: APARTMENT

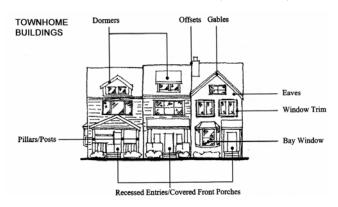
- **A. Description:** A multiple-unit building with units vertically arranged (generally) and with parking located below or behind the building. Units may be for rental or for sale in condominium ownership or may be designed as continuing care facilities. The ground floor may be available for commercial uses. The use permitted within the building is determined by the District in which it is located.
- **B.** Yards: The Apartment Building typically has 1 yard (Rear) though variations include a small front setback to provide some landscaping.



- Bulk and Scale: The bulk and scale of apartment infill development shall be similar to and
  consistent with the surrounding neighborhood as evaluated by the bulk of buildings
  adjacent, abutting and surrounding the proposed development. All buildings should be
  designed to adhere to the existing architectural pattern of the surrounding neighborhood.
- 2. Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the building. Useable front porches are at least 8 feet deep and extend more than 30% of the facade.
- 3. Garage doors are not permitted on the front elevation of any apartment building.
- 4. All building elevations visible from the street shall provide doors, porches, balconies, and/or windows. A minimum of 60% of front elevations, and a minimum of 30% of side and rear building elevations, as applicable, shall meet this standard. "Percent of elevation" is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. This standard applies to each full and partial building story.
- 5. To provide privacy, all front entrances shall be raised from the finished grade (at the building line) a minimum of  $1\frac{1}{2}$  feet.
- 6. All apartment buildings shall provide detailed design along all elevations. Detailed design shall be provided by using many of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):

## **CHAPTER 5: BUILDING TYPES AND ARCHITECTURAL STANDARDS**

- a. Dormers
- b. Gables
- c. Recessed entries
- d. Covered porch entries
- e. Cupolas or towers
- f. Pillars or posts
- g. Eaves (minimum 10 inch projection which may include gutter)
- h. Off-sets in building face or roof (minimum 16 inches) Window trim (minimum 4 inches wide)
- i. Bay windows
- j. Balconies
- k. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)
- Decorative cornices and roof lines (for flat roofs)



#### D. Materials

- 1. Residential building walls shall be wood clapboard, cemetitious fiber board, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, or vinyl.
- 2. Residential roofs shall be clad in wood shingles, standing seam metal, terne, slate, or asphalt shingles.

### E. Other Requirements

- Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 6:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less then 4:12.
- 2. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- 3. The undercroft of buildings shall be enclosed.
- 4. All buildings should be designed to adhere to the existing architectural pattern of the surrounding neighborhood.
- 5. Overhanging eaves may expose rafters.
- 6. Flush eaves shall be finished by profiled molding or gutters.
- 7. All rooftop equipment shall be screened from view.



Multi-family development



Eight-plex



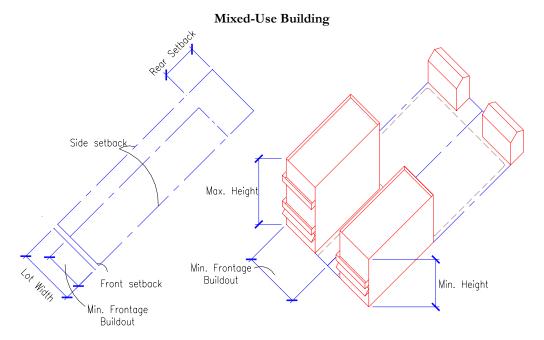
Multi-Family Development



Multi-Family Development

# 5.11 Building Type: MIXED-USE

- **A. Description:** A multi-story small scale structure which can accommodate a variety of uses. A group of mixed-use buildings can be combined to form a mixed-use neighborhood center. Individual mixed-use buildings can be used to provide some commercial service, such as a neighborhood store, in close proximity to homes. The uses permitted within the building are determined by the District in which it is located.
- **B.** Yards: The Mixed-Use Building typically has 1 yard (Rear) though variations include a small front plaza or courtyard to provide public space for outdoor seating as well as a building with complete lot coverage where parking is handled in a manner other than on-site surface parking.



- 1. Multi-Story: Mixed-use building shall have a minimum of two stories.
- **2. Street Walls:** The first floors of all mixed-use buildings shall be designed to encourage and complement pedestrian-style interest and activity by incorporating the following elements:
  - a. The first floor of all buildings fronting directly on a street shall include transparent windows and doors arranged so that the uses inside are visible from and/or accessible to the street on at least 40% of the length of the first floor building elevation along the first floor street frontage.
  - **b.** Expanses of blank walls may not exceed 20 feet in length. (A "blank wall" is a facade that does not contain transparent windows or doors.)

- **c.** Window dimensions:
  - **a.** Maximum Sill Height (1st Floor): 42 inches (as measured from the finished floor elevation)
  - b. Minimum Area: 16 sq ft
  - c. Minimum Width: 3 feet
  - d. Minimum Height: 4 feet
- **d.** Ventilation grates or emergency exit doors located at the first floor level in the building facade, which are oriented to any public street, shall be decorative.
- 3. Building Entrances: A primary entrance facade shall be oriented toward the street, be designed for the pedestrian, and be distinguishable from the rest of the building. Such entrances shall provide a sense of entry and add variety to the streetscape.

  Additional entrances may be oriented toward side or rear parking lots. Service entrances for shipping and receiving shall be oriented away from the public street.
- 4. A building canopy, awning, or similar weather protection may be provided and should project a minimum of 3-5 feet from the façade.

## D. Materials

- 1. Commercial building walls shall be brick, stone, cementitious fiber board, or wood clapboard. Regular or decorative concrete block and EIFS-type stucco may be used on building walls not visible from a public street or as an accent material only. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
- 2. Pitched roofs shall be clad in wood shingles, standing seam metal, corrugated metal, slate, or asphalt shingles.



Office over Retail/Restaurant



Office over Retail/Offic



Residential/Office over Retain



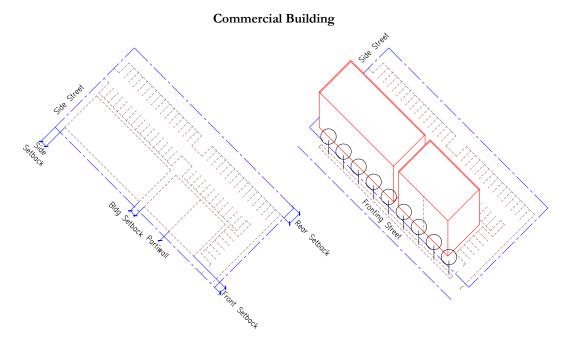
Office over Office/Retail



Residential over Residential/Office/Retail

## 5.12 Building Type: COMMERCIAL BUILDING

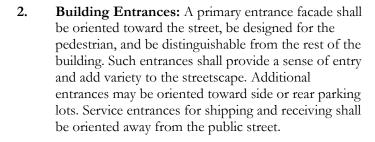
- **A. Description:** A single or multi-story medium to large structure which generally accommodates automobile-oriented uses that are found along major thoroughfares. A group of commercial buildings can be combined to form a community center. This building type provides convenient automobile access from the fronting thoroughfare, while minimizing the negative impacts of parking lots on an active pedestrian realm. The uses permitted within the building are determined by the District in which it is located.
- **B.** Yards: The Commercial Building typically has 1 yard (Rear) though variations include a small front plaza or courtyard to provide public space for outdoor seating as well as a building with complete lot coverage where parking is handled in a manner other than on-site surface parking.



- 1. Street Walls: The first floors of all commercial buildings shall be designed to encourage and complement pedestrian-style interest and activity by incorporating the following elements:
  - a. The first floor of all buildings fronting directly on a street shall include transparent windows and doors arranged so that the uses inside are visible from and/or accessible to the street on at least 40% of the length of the first floor building elevation along the first floor street frontage.
  - **b.** Expanses of blank walls may not exceed 20 feet in length. (A "blank wall" is a facade that does not contain transparent windows or doors.)
  - **c.** Window dimensions:

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- **a.** Maximum Sill Height (1st Floor): 42 inches (as measured from the finished floor elevation)
- b. Minimum Area: 16 sq ftc. Minimum Width: 3 feetd. Minimum Height: 4 feet
- **d.** Ventilation grates or emergency exit doors located at the first floor level in the building facade, which are oriented to any public street, shall be decorative.



3. A building canopy, awning, or similar weather protection may be provided and should project a minimum of 3-5 feet from the façade.

#### D. Materials

- 1. Commercial building walls shall be brick, stone, cementitious fiber board, or wood clapboard. Regular or decorative concrete block and EIFS-type stucco may be used on building walls not visible from a public street or as an accent material only. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
- 2. Pitched roofs shall be clad in wood shingles, standing seam metal, corrugated metal, slate, or asphalt shingles.



Retai



Grocery Store



Retail along a thoroughfare



Pharmacy with Drive Thru



Fast Food Restaurant



Gas Station

